

**EAGLES LANDING II  
CONDOMINIUM ASSOCIATION  
Common and Limited Common Area  
Standards and Requirements**

*A Handbook for the Owners with Basic Standards and Requirements  
Developed by the Eagles Landing II (ELII) Architectural Review Committee (ARC)  
and Approved by the ELII Board of Directors*

***Version 1.0  
ELII Board Approved  
11/26/2018***

**ALTERATION APPROVAL PROCESS**

All residents must fill out an EAGLES LANDING CONDOMINIUM ASSOCIATION II ALTERATION APPLICATION for all changes or additions to the common element or limited common element. In addition, the contractor's plans must be submitted with an alteration application and a hold harmless form if the project exceeds \$500.00. All projects must be approved by Architectural Review Committee (ARC) and ratified by Eagles Landing II Board. A licensed and insured vendor must complete all projects. An exception would be small plants and shrubs that meet the approved plant list. These must be approved by ARC but can be planted and maintained by the owner.

The alteration request must be approved before commencement of any project to modify or add to common area or limited common area. Common element refers to the buildings outside structure and accessories as well as outside yard, trees, and plants. A limited common area <sup>1</sup>is an element only accessed by the owner like a driveway.

Any future maintenance cost associated with the alteration will be the responsibility of owner or future owners. The alteration application, instructions and the hold harmless agreement are located in the appendix of this handbook or can be obtained from the property management company.

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<sup>1</sup> Limited Common Element: Article XVII of Declaration in the Condominium Documents.

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**OWNER SCREEN PORCH and SCREEN PORCH GUTTERS**

**Eagles Landing Condominium II Association, Inc  
ARC Standards for Screen Room Enclosures**

Unit No. / Owner \_\_\_\_\_

Contractor \_\_\_\_\_ Date \_\_\_\_\_

**\*\* Owner must provide Contractor a copy of this ARC Standard to prepare the proposal \*\***

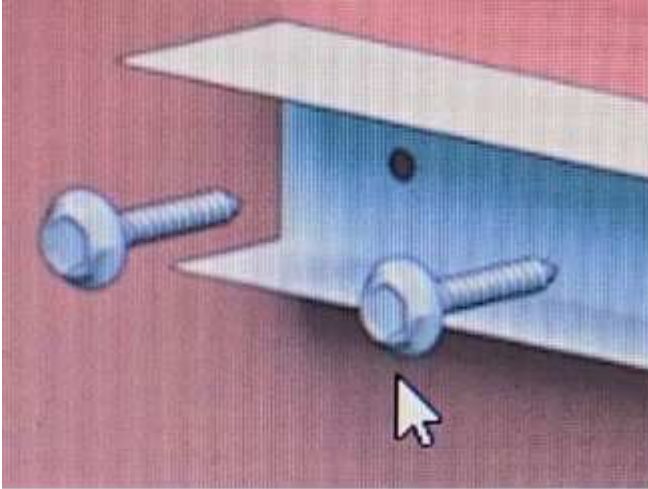
<b>Screen Room Description</b>	<b>ARC Standards</b> – Minimum requirements: Building code compliant, Permit required. (ARC Alteration Approval Process must be followed. All Maintenance on this addition is an owner expense.)
Roof	3-inch Insulated roof panels (Elite Style). Color: Bronze with <u>Off White</u> roof surface. Panels must be attached to Hardie Trim Fascia below drip edge with extruded aluminum header channel. Sealant and rust proof fasteners must be used.
Screen Frame Enclosure Lineals	Alloy Aluminum 6063. Color: Bronze Rust proof fasteners. Sealant used where necessary.
Screen	Fiberglass Standard Mesh 18/14 or 20/20 “No-see-um” screen. Color: Black
Gutters (required for added porch rooms)	6 inch box seamless gutters with maximum of 2 down spouts. Minimum down spout size is 3 X 4 inch. Two 3 X 4 inch downspouts are sufficient for a 30 to 40 ft. long 6 inch gutter. Color: Bronze with rust proof fasteners. These gutters and downspouts need to be designed to empty into an area that will not to damage the common elements with approved drain methods to move drain water to a safe location. (These gutters are an owner expense. The owner is responsible to clean and maintain gutters attached to screen porches. )
Options	Screen door, kick plate, etc. Color: Bronze
Plan Drawing	Drawing of screen room must accurately describe ARC Standards with dimensions.

<b>NOTE:</b> Condo Roof Water Runoff 6,562 sq. ft.	The roof pitch factor used for water runoff is 1.05 for a 5/12 pitch and precipitation rate of 6.25 inches per 24 hours. (Ref: NOAA.GOV Avg. Recurrence Interval 10 years, 24 hours, Tampa, FL.)
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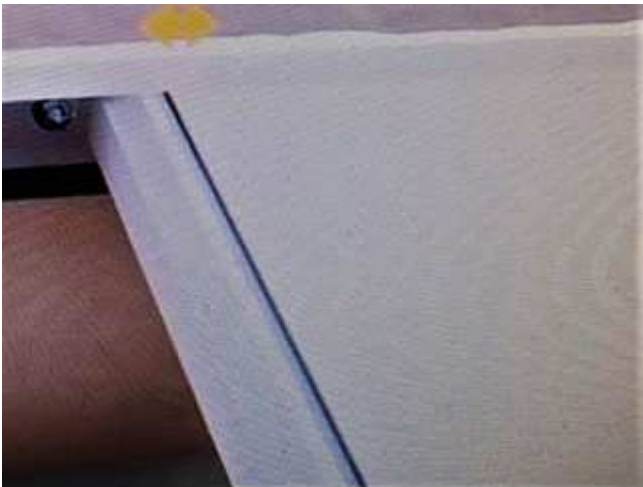
ARC Rev 9/6/2018 b

Give the above specifications to your contractor for quoting and statement of work purposes.

ARC will review the contractors plans focusing on the panel roofs and how they are being attached to the condo unit.



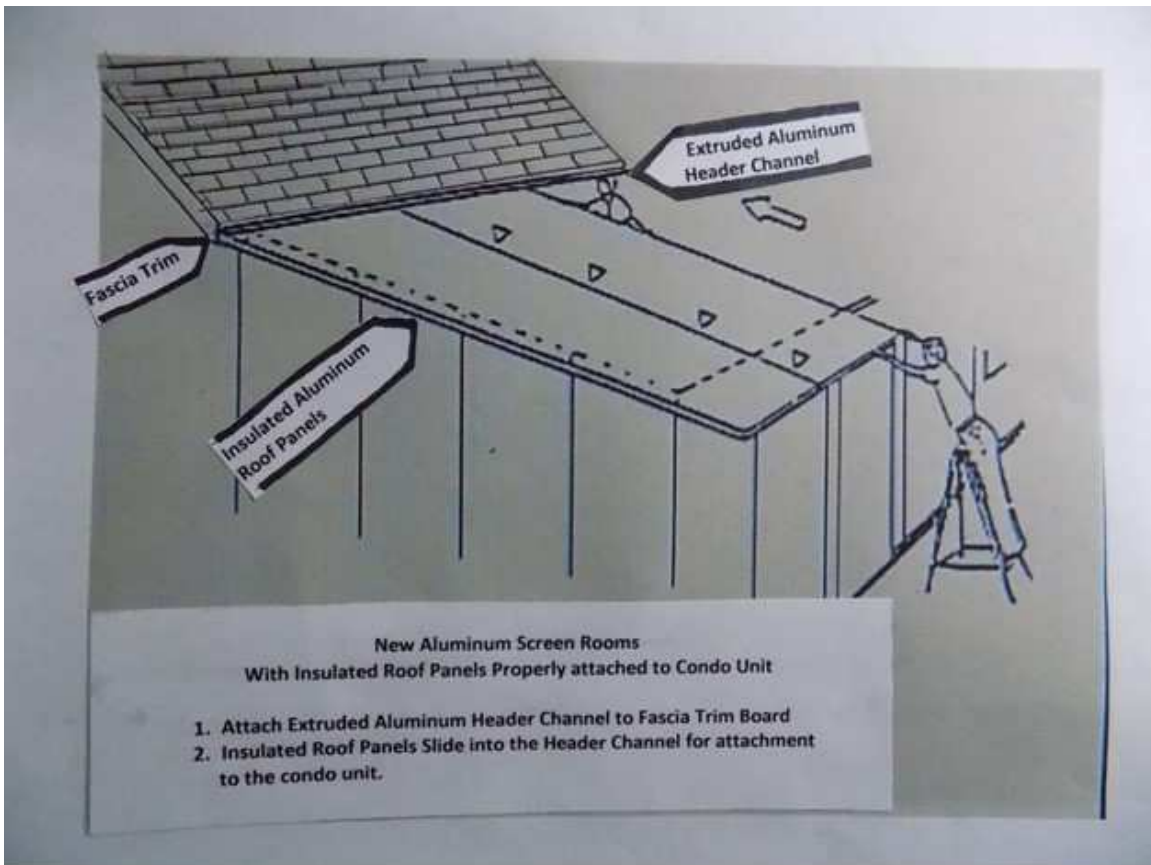
Header Channel Example. Sealant should also be applied.



Roof Panel Slides Into the Header Channel



Example of Proper Construction



## RAILINGS

These items require the ARC Alteration Approval Process.

All railings and gates installed in the owners back porch or screen porch areas must follow the standard shown below:

Maintenance of these railings and gates are the responsibility of the owner.

### Aluminum Fence Standard

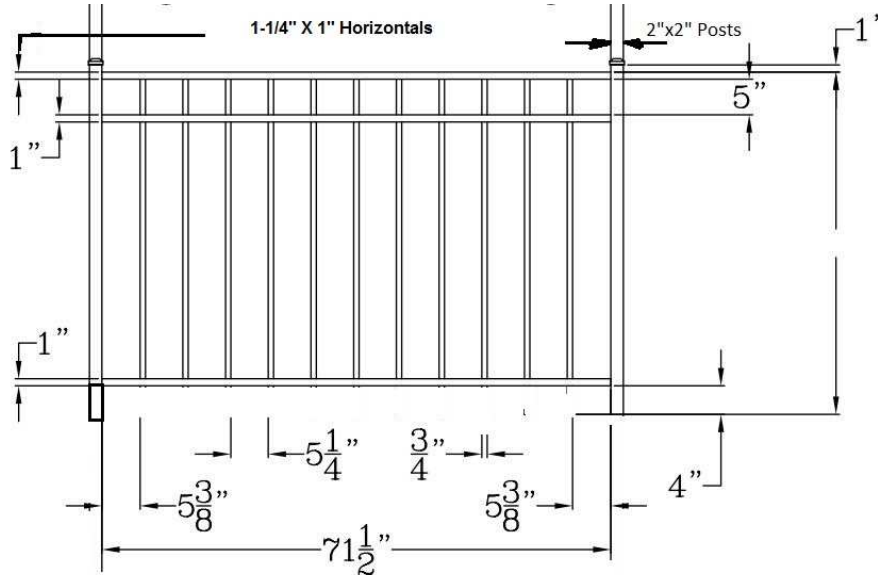
Recommended Manufacturer: Gulf Aluminum Products

Model: 2000 series. Style: 2463 S. Color: Bronze

#### Specifications:

- Size: 36" height with 2"x2" posts
- Spacing between pickets: 5-1/4"
- Picket size: 3/4" square.
- Top Railing and horizontals: 1-1/4" x 1"
- Finial: None. Basic flat design

Optional gates if used must match the railing design.



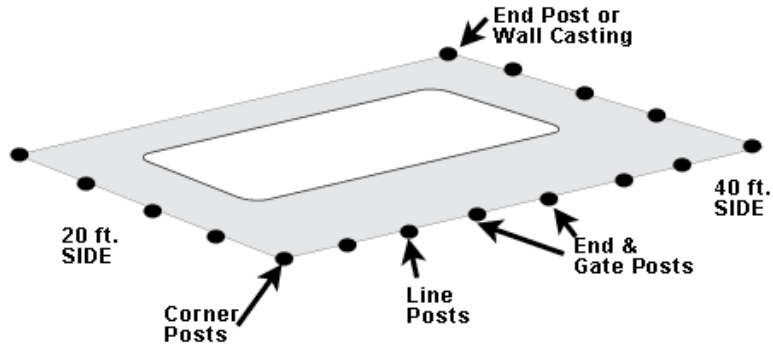


Style 2463S

Railings, continued.

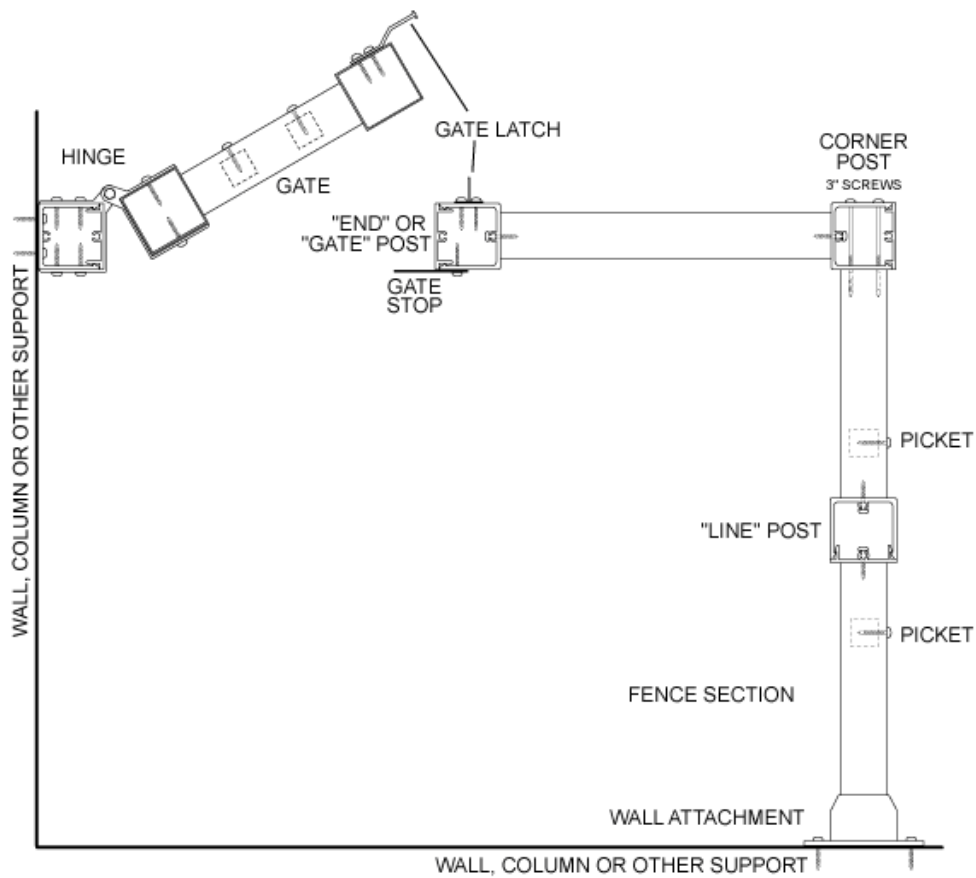
### BASIC PLAN VIEW

Showing post, gate and end-post/wall locations and dimensions.



### DETAILED PLAN VIEW

Overhead view, looking down on installed fence.



SAMPLE: TOP VIEW of Contractor's Proposal/Plans



## **SOLAR TUBES and SKYLIGHTS**

**Installation and maintenance are an owner expense.** For new installations, the ARC Alteration Approval Process must be followed.

The solar tube or skylight sizes are varied to accommodate need of individual owner.

The metal color must be bronze.

The glass can be clear or frosted glass that is tempered and meets building code requirements.

These products must be curb mounted for shingle roof installation.

The product and installation must meet current building codes and have permit approval.

The product used must have a *Florida Product Approval Number*.  
(See [https://www.floridabuilding.org/pr/pr\\_app\\_srch.aspx](https://www.floridabuilding.org/pr/pr_app_srch.aspx) ).

## SECURITY LIGHTS

These items require the ARC Alteration Approval Process.

Small, approved bronze colored LED floodlights can be mounted under eaves as needed for security or area lighting. New installations must use the 110VAC condo unit wiring with work performed by a licensed electrician. Hardwired floodlights may be added to provide lighting to your driveway, walkway, patio or other areas needing light for usability or security. These may have motion sensors or ambient light sensors. Flood light installation and maintenance are the responsibility of the owner. Examples are below.



Examples:

Home Depot: [Halo 300-Watt Bronze Outdoor PAR Twin-Head Security Flood Light](#)

Model# PWT250BRH

Home Depot: [Halo 300-Watt Bronze Outdoor PAR Twin-Head Security Flood Light with Dusk to Dawn Photocell Sensor](#) Model# PWT250PCH

## **FRONT DOOR and DOOR COLOR**

During outside painting maintenance, original standard front doors will be painted the same color as the siding and the garage door or can be not painted (owner's option). The standard painting will be an association expense.

If the owner wants to modify the color or style of the door, then the ARC Alteration Approval Process must be followed. The custom door, the custom painting and maintenance become the owner's responsibility.

Note that the front door must be one solid color or stain. If an owner chooses the option to install a different front door style, it must meet county building codes.

## **WINDOW AND SLIDING GLASS DOOR REPLACEMENTS**

Modifications to change the windows or sliding glass doors require the ARC Alteration Approval Process. All windows and sliding glass doors are owner maintained.

All modifications must meet county building codes including:

- Hurricane Impact Glass
- Solid Glass (No Colonial Grid)
- Exterior Window Frame must be Bronze Color

## **PLANTS**

The Florida-Friendly Landscape Guide For Eagles Landing Residents has a list of approved plants. This list is included in the appendix. If the owner wants to add new plants or replace existing plants in a limited common area, then a replacement or additional landscape design plan and plant types must be submitted with the alteration application to ARC. The owner has the responsibility to maintain any new or replaced plants that were submitted in the landscape design plan.

If dead or dying plants that were planted by the association in common areas (around the owners unit) need to be replaced with an approved plant, this replacement will be done by the association landscape maintenance crew at association expense. The owner must submit a work order request to the management company.

## ASSOCIATION MAINTAINED ITEMS

### SEAMLESS GUTTERS AND DOWNSPOUTS

Common Area Gutters are installed and maintained by the Association.

### ASSOCIATION PROVIDES OUTDOOR WALKWAY LIGHTING

The outdoor lamp for each unit is Melissa KISS Urban Outdoor Lighting

Model: #K2873

Color: Umber (Bronze)

Dimensions: 19-3/4 height, 11" width and backplate 4-1/2 "x 7".

The association will maintain this light.



## ROOF

The roof is maintained by Association.

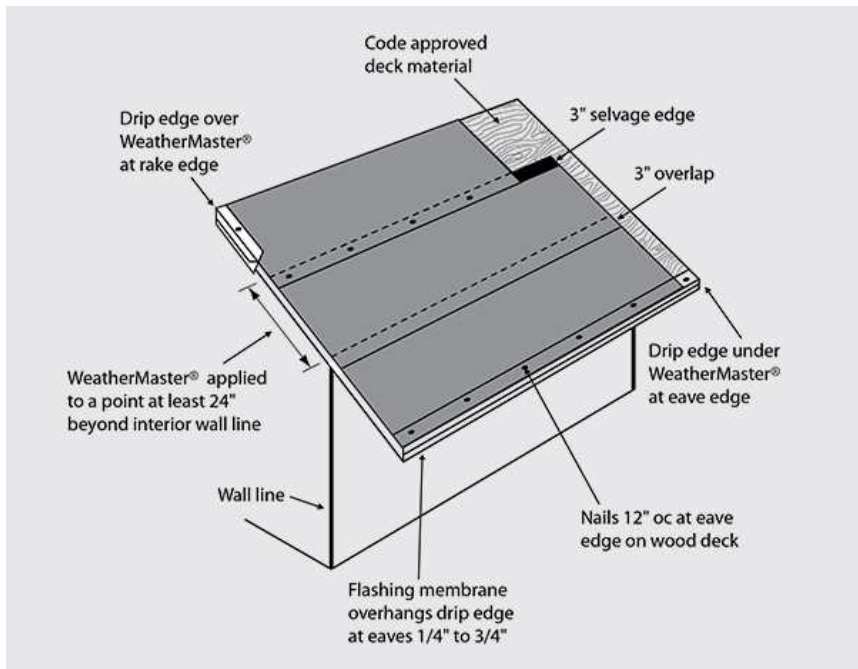
GAF Timberline HD® shingles

Underlayment must be WeatherMaster® 200 SE Granular Surfaced Peel & Stick SBS Reinforced Underlayment for weather barrier underneath shingles.

Timberline shingle color: Driftwood medium tone



Shingles



Underlayment

## EXTERNAL PAINT COLORS

Common element paint maintenance is the responsibility of the Association.

Manufacturer: PPG

### Siding Color and Finish:

PPG brand color is Windsor Greige, Color #917603000003628.

Finish is Acri-Shield Satin.

PPG Gallon Formula: See paint formula information below.

### Trim Color and Finish:

Color is Cream, PPG brand color #917602000006637.

Finish is Acri-Shield Satin.

PPG Gallon Formula: See paint formula information below.

Paint Formulas. Paint formulas used for Eagles Landing II are on file for "Eagles Landing" at the PPG Palm Harbor Store located at [36101 US 19 North, Palm Harbor, FL 34684](#).

PPG Store Phone Number [727-785-3641](#).

## ADDRESS LIGHTED PLAQUES

Manufacturer: Kichler 43800 LED address light fixture

Specifications include:

- Aluminum Housing, Bronze color
- Wet Rating – designed for exterior use in rain and humidity
- LED (light emitting diode) lights that are replaceable
- Low Voltage 10 – 24 volts provides easy connection to the current 12V or 24V low voltage transformers and wiring in the garages.
- Individual address number plaques come with permanent numbers Manufacturer:



The association maintains these address fixtures.

## **APPENDIX A.1 – Alteration Application Form and Hold Harmless Agreement**

### **Instructions for Alteration Application**

All residents must fill out an EAGLES LANDING CONDOMINIUM ASSOCIATION II ALTERATION APPLICATION for all changes or additions to the common element or limited common element. In addition, the alteration application must be accompanied by contractor's plans and the signed "hold harmless agreement" for any project cost exceeding \$500.00.

Project examples would be screened porches, skylights and solar tubes. The contractor's proof of license and insurance must be included with the plans.

Alteration applications must be submitted to the Architectural Review Committee (ARC) via the management company and must be approved PRIOR to starting any individual alteration projects involving the common area and the limited common area.

Submit the application, plans, copy of contractor's license, contractor's insurance declaration and the filled and signed hold harmless form to:

**Sentry Management**  
**2605 Enterprise Road East, Suite 200**  
**Clearwater, FL 33759**  
**Attention: Heidi Levac, Community Association Manager**

Heidi can be contacted at (727) 799-8982 x53009 or via email at [HLevac@SentryMGT.com](mailto:HLevac@SentryMGT.com) if you have any questions.

If the forms are in order, the community manager will forward the package to the Eagles Landing II Architectural Review Committee.

**EAGLES LANDING CONDOMINIUM ASSOCIATION, INC.  
AND  
EAGLES LANDING CONDOMINIUM II ASSOCIATION, INC.**

**ALTERATION APPLICATION**  
#: \_\_\_\_\_

**NAME** \_\_\_\_\_  
**ADDRESS** \_\_\_\_\_

**PROPOSED ALTERATION:**  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The following must be provided with each application; please initial next to each to confirm inclusion of each item:

- \_\_\_\_\_ Detailed description of the alteration to be considered;
- \_\_\_\_\_ Attach plans, a sketch, or drawing with enough detail for the Board or Committee to properly evaluate the request;
- \_\_\_\_\_ Provide a site plan with location of the lot;
- \_\_\_\_\_ Provide copies of city or county permits. (If not available at time of application, must be provided when received)

**CONTRACTOR INFO:**

**NAME** \_\_\_\_\_  
**ADDRESS:** \_\_\_\_\_ **PHONE** \_\_\_\_\_  
**START DATE** \_\_\_\_\_ **TO BE COMPLETED BY** \_\_\_\_\_

**ADJACENT PROPERTY OWNERS:**

By your signature you acknowledge that you have been informed of the proposed alteration and that you have no objection.  
NOTE: While the signature of adjacent property owners is not required by the Declaration, it is in keeping with the neighbor policy prevalent in your association, and will assist the person(s) being called upon to approve the alteration. If a signature is not obtained by the one seeking approval, give the name(s) in the name(s) column and the reason in the 'signature' column.

NAME:	UNIT #:	SIGNATURE:

**OFFICIAL USE ONLY**

APPROVED       DENIED

Signed by:

_____ (Authorized Signature)	_____ (Date)	_____ (Authorized Signature)	_____ (Date)
_____ (Authorized Signature)	_____ (Date)	_____ (Authorized Signature)	_____ (Date)
_____ (Authorized Signature)	_____ (Date)	_____ (Authorized Signature)	_____ (Date)



**HOLD HARMLESS AGREEMENT  
EAGLES LANDING CONDOMINIUM ASSOCIATION II**

The owner and future owners are responsible for all maintenance and repairs for any changes to the common or limited common elements. All changes require prior approval by the ARC and Eagles Landing II Board. Additionally, Eagles Landing II Condominium Association and its Management Company are to be held harmless for any damages that may occur due to these changes.

Change Description:

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Owner's Name Print:

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Owner's Address Print:

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Signature \_\_\_\_\_

Date \_\_\_\_\_

HHA-001  
11/11/2018

## **APPENDIX A.2 – Landscaping, List of Approved Plants**

These plants were recommended by the association's landscaping contractor and were also reviewed in many of the past Landscape Committee meetings. These plants are the ground cover, accent and border variety that are low maintenance, hardy, colorful and provide uniformity in the common and limited common areas.

(Version - August 2017)

### **Florida Landscape Plants**

**African Iris** - African Iris is a very low maintenance plant that produces a beautiful pale yellow flower in the spring. It is tolerant to dry conditions and is great for borders.

**Cordyline** - Thin grasslike spiky leaves - burgundy or green color varieties for border or accent.

**Hawaiian Boy Cordyline** - Tall burgundy or variegated burgundy plant. Can be cut back to keep low height. Has long broad pointed leaves.

**Crotons** - Large leathery leaves in burgundy and variegated green/yellow color. Accent Plant

**Dwarf Ixora** - Dwarf ixora and maui ixora, the smaller varieties of this lushly flowering shrub. Gorgeous flowers most of the year, are easy care and compact size

**Dianella** - Variegated and solid green grass-like spiky foliage. Border and accent plant

**Flax Lily** - Long grass-like spiky foliage - green with creamy white edges. Border and accent plant

**Florida Dracaena and Cordylines** - fabulous foliage for dramatic color and provide height and a look of the tropics to South Florida gardens. Burgundy color.

**Goldmine Sky Flower** (Golden Dew Drop) - Yellow/green variegated leaves. Good hedge shrub medium.

**Jasmine** (ground cover) - All jasmine plants prefer sun to light shade sites with well-draining and moderately fertile soil.

**Ligustrum** - a broadleaf evergreen, makes a good screening or hedging plant, or a background a Addition to the mixed border.

**Liriope, Aztec Grass** - border grass, and monkey grass. It is a perennial with grass-like evergreen foliage and lilac-purple flowers that produce single-seeded berries on a spike in the fall. Border Plant

**Peanut Grass** - green with small yellow flowers. Ground cover and low maintenance alternative to grass for yards and difficult sunny areas.

**Ruellia Purple** (Mexican Petunia) - a three foot tall evergreen shrub that bears many tubular blue or purple petunia like flowers on dark stems over a long period.